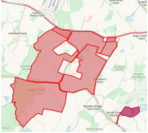





Appraisal Criteria	Planning Policies	HELAA/LP41/043	HELAA/LP41/045
		South Side of Biddenden Rd	South Side of Biddenden Rd
		10 Units	5 Units
		Housing C3/ Self Build, BNG	Housing C3/ Self Build, BNG
		Formal SS	Formal SS
Status			
<b>FLOODING</b>			
Flood Zone 2, 3a, 3b	<b>NPPF, Dec 2023:</b> Paras. 165 - 175 and Annex 3 <b>Ashford Local Plan 2030:</b> Policy ENV6 Flood Risk		
Are there known local concerns regarding surface water drainage?			
<b>HERITAGE</b>			
Within Conservation Area	<b>NPPF, Dec 2023:</b> Paras. 200 - 208. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV13 - Conservation and Enhancement of Heritage Assets. Policy ENV14 - Conservation Areas. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP4 - Design of New Development and Conservation. Policy TEN NP5 Tenterden, St Michaels, Smallythe and Reading Street Conservation Areas and their setting.		
Part of Setting of Conservation Area			
Part of Setting of Listed Building			
Part of Setting of a Non-Designated Heritage Asset	<b>NPPF, Dec 2023:</b> Para. 209. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP7 Non-designated Heritage Assets		
<b>BIODIVERSITY</b>			
Within or Adjoining SSSI	<b>NPPF, Dec 2023:</b> Para. 186. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV1 - Biodiversity.		
Within or Adjoining Local Wildlife Site			
Within or Adjoining Ancient Woodland	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP3 Conserve and Enhance Biodiversity.		
Is the site known locally to be occupied by protected species?			
<b>LANDSCAPE</b>			
Within High Weald National Landscape	<b>NPPF, Dec 2023:</b> Paras. 182 - 183. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within Clapper Hill Wooded Farmlands	<b>NPPF, Dec 2023:</b> Para. 180. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within High Halden Farmlands and, Woodchurch Undulating Farmlands			
Is the Site within a Designated Important View	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
<b>OPEN SPACE</b>			
Is the Site Within a Local Green Space or Sports and Recreation Ground	<b>NPPF, Dec 2023:</b> Paras. 103, 107. <b>Ashford Local Plan 2030:</b> Policy COM2 Recreation, Sport, Play and Open Spaces. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP2 Protection of Local Green Spaces. Policy TEN NP14 Protection of Sports and Recreation Grounds.		
<b>ACCESS TO SERVICES</b>			
Availability of Direct Pedestrian and Vehicular Access from Public Highway		Vehicular Only	Vehicular Only
Availability of Safe Cycling Option to the Site		NO	NO
Proximity to Town Centre (metres)	<b>NPPF, Dec 2023:</b> Paras. 114-116. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP17 - Securing Infrastructure.	NO	NO
Proximity to Primary School (metres)		NO	NO
Proximity to Secondary School (metres)		NO	NO
Proximity to Bus Stop (metres)		NO	NO
Proximity to GPs (metres)		NO	NO
Proximity to Public Open Space (metres)		NO	NO
<b>SITE SUMMARY</b>		The site is accessible from A262 Biddenden Road, however it is not in close proximity to schools, GPs, Public Open Spaces, bus stops, the town centre. It also has no direct pedestrian access (apart from PRoW AB3) or a safe cycling option to the site. The site is located within High Halden Farmlands a protected landscape character area.	The site is accessible from A262 Biddenden Road, however it is not in close proximity to schools, GPs, Public Open Spaces, bus stops or the town centre. It also has no direct pedestrian access (apart from PRoW AB3) or a safe cycling option to the site. The site is located within High Halden Farmlands a protected landscape character area. We feel the proposed housing site is not suitable for development.
<b>TDRA DECISION</b>		We feel the proposed site is <u>not</u> suitable for development.	We feel the proposed site is <u>not</u> suitable for development.



	Yes
	Partially
	No

Appraisal Criteria	Planning Policies	HELAA/LP41/258	HELAA/LP41/262
		Readers Bridge Rd	Biddenden Rd
		15 Units	30 Units
		Cottages/Leisure & Tourism	Cottages/Leisure & Tourism
		<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1179200                      HELAA Reference: HELAA/LP41/258                      Site Name: Land at Reederæ™s Bridge Road                      Proposed Use: Leisure &amp; Tourism (15 cottages)                      Area (Hectares): 2.49                 </div>	<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1179204                      HELAA Reference: HELAA/LP41/262                      Site Name: Land at Biddenden Road                      Proposed Use: Leisure &amp; Tourism (30 Holiday Cottages)                      Area (Hectares): 3                 </div>
			
Status		Formal SS	Formal SS
<b>FLOODING</b>			
Flood Zone 2, 3a, 3b	<b>NPPF, Dec 2023:</b> Paras. 165 - 175 and Annex 3		
Are there known local concerns regarding surface water drainage?	<b>Ashford Local Plan 2030:</b> Policy ENV6 Flood Risk		
<b>HERITAGE</b>			
Within Conservation Area	<b>NPPF, Dec 2023:</b> Paras. 200 - 208. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV13 - Conservation and Enhancement of Heritage Assets. Policy ENV14 - Conservation Areas.		
Part of Setting of Conservation Area	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP4 - Design of New Development and Conservation. Policy TEN NP5 Tenterden, St Michaels, Smallythe and Reading Street Conservation Areas and their setting.		
Part of Setting of Listed Building			
Part of Setting of a Non-Designated Heritage Asset	<b>NPPF, Dec 2023:</b> Para. 209. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP7 Non-designated Heritage Assets		
<b>BIODIVERSITY</b>			
Within or Adjoining SSSI	<b>NPPF, Dec 2023:</b> Para. 186. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV1 - Biodiversity.		
Within or Adjoining Local Wildlife Site	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP3 Conserve and Enhance Biodiversity.		
Within or Adjoining Ancient Woodland			
Is the site known locally to be occupied by protected species?			
<b>LANDSCAPE</b>			
Within High Weald National Landscape	<b>NPPF, Dec 2023:</b> Paras. 182 - 183. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within Clapper Hill Wooded Farmlands	<b>NPPF, Dec 2023:</b> Para. 180. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design.		
Within High Halden Farmlands and, Woodchurch Undulating Farmlands	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Is the Site within a Designated Important View	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
<b>OPEN SPACE</b>			
Is the Site Within a Local Green Space or Sports and Recreation Ground	<b>NPPF, Dec 2023:</b> Paras. 103, 107. <b>Ashford Local Plan 2030:</b> Policy COM2 Recreation, Sport, Play and Open Spaces. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP2 Protection of Local Green Spaces. Policy TEN NP14 Protection of Sports and Recreation Grounds.		
<b>ACCESS TO SERVICES</b>			
Availability of Direct Pedestrian and Vehicular Access from Public Highway		Vehicular Only	Vehicular Only
Availability of Safe Cycling Option to the Site		NO	NO
Proximity to Town Centre (metres)	<b>NPPF, Dec 2023:</b> Paras. 114-116. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP17 - Securing Infrastructure.	NO	NO
Proximity to Primary School (metres)		NO	NO
Proximity to Secondary School (metres)		NO	NO
Proximity to Bus Stop (metres)		NO	NO
Proximity to GPs (metres)		NO	NO
Proximity to Public Open Space (metres)		NO	NO
<b>SITE SUMMARY</b>		The site is accessible from Readers Bridge Road, however it is not in close proximity to schools, GPs, Public Open Spaces, bus stops or the town centre. It also has no direct pedestrian access or a safe cycling option to the site. The site is located within High Halden Farmlands a protected landscape character area. We feel the proposed housing site is not suitable for development.	The site is accessible from A262 Biddenden Road, however it is not in close proximity to schools, GPs, Public Open Spaces, bus stops, the town centre. It also has no direct pedestrian access or a safe cycling option to the site. The site is located within High Halden Farmlands a protected landscape character area. We feel the proposed housing site is not suitable for development.
<b>TDRA DECISION</b>		We feel the proposed site is <u>not</u> suitable for development.	We feel the proposed site is <u>not</u> suitable for development.


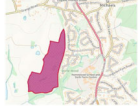
	Yes
	Partially
	No

Appraisal Criteria	Planning Policies	HELAA/LP41/125	HELAA/LP41/108																								
		Autumn Lodge Fm	Six Acres																								
		50-75 Units	50-60 Units																								
		Housing C3, Community Facilities	Housing C3/ SB,																								
		<table border="1"> <thead> <tr> <th colspan="2">2023 Call for Sites submissions</th> </tr> </thead> <tbody> <tr> <td>Response ID:</td> <td>EL17408</td> </tr> <tr> <td>HELAA Reference:</td> <td>HELAA/LP41/125</td> </tr> <tr> <td>Site Name:</td> <td>Autumn Lodge Farm, Tenterden, Kent, TN30 6SR</td> </tr> <tr> <td>Proposed Use:</td> <td>Housing (C3) 50-75 dwellings, Community facilities</td> </tr> <tr> <td>Area (hectares):</td> <td>4.4</td> </tr> </tbody> </table>	2023 Call for Sites submissions		Response ID:	EL17408	HELAA Reference:	HELAA/LP41/125	Site Name:	Autumn Lodge Farm, Tenterden, Kent, TN30 6SR	Proposed Use:	Housing (C3) 50-75 dwellings, Community facilities	Area (hectares):	4.4	<table border="1"> <thead> <tr> <th colspan="2">2023 Call for Sites submissions</th> </tr> </thead> <tbody> <tr> <td>Response ID:</td> <td>EL17408</td> </tr> <tr> <td>HELAA Reference:</td> <td>HELAA/LP41/108</td> </tr> <tr> <td>Site Name:</td> <td>Six acres, Ashford Road, St Michaels, Tenterden, TN30 6SR</td> </tr> <tr> <td>Proposed Use:</td> <td>Housing (C3/ SB) 50-60 dwellings / Biodiversity Net Gain</td> </tr> <tr> <td>Area (hectares):</td> <td>2.68</td> </tr> </tbody> </table>	2023 Call for Sites submissions		Response ID:	EL17408	HELAA Reference:	HELAA/LP41/108	Site Name:	Six acres, Ashford Road, St Michaels, Tenterden, TN30 6SR	Proposed Use:	Housing (C3/ SB) 50-60 dwellings / Biodiversity Net Gain	Area (hectares):	2.68
2023 Call for Sites submissions																											
Response ID:	EL17408																										
HELAA Reference:	HELAA/LP41/125																										
Site Name:	Autumn Lodge Farm, Tenterden, Kent, TN30 6SR																										
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Site Name:	Six acres, Ashford Road, St Michaels, Tenterden, TN30 6SR																										
Proposed Use:	Housing (C3/ SB) 50-60 dwellings / Biodiversity Net Gain																										
Area (hectares):	2.68																										
																											
Status		Formal SS	Formal SS																								
<b>FLOODING</b>																											
Flood Zone 2, 3a, 3b	<b>NPPF, Dec 2023:</b> Paras. 165 - 175 and Annex 3																										
Are there known local concerns regarding surface water drainage?	<b>Ashford Local Plan 2030:</b> Policy ENV6 Flood Risk																										
<b>HERITAGE</b>																											
Within Conservation Area	<b>NPPF, Dec 2023:</b> Paras. 200 - 208. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV13 - Conservation and Enhancement of Heritage Assets. Policy ENV14 - Conservation Areas.																										
Part of Setting of Conservation Area	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP4 - Design of New Development and Conservation. Policy TEN NP5 Tenterden, St Michaels, Smallythe and Reading Street Conservation Areas and their setting.																										
Part of Setting of Listed Building																											
Part of Setting of a Non-Designated Heritage Asset	<b>NPPF, Dec 2023:</b> Para. 209. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP7 Non-designated Heritage Assets																										
<b>BIODIVERSITY</b>																											
Within or Adjoining SSSI	<b>NPPF, Dec 2023:</b> Para. 186. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV1 - Biodiversity.																										
Within or Adjoining Local Wildlife Site	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP3 Conserve and Enhance Biodiversity.																										
Within or Adjoining Ancient Woodland																											
Is the site known locally to be occupied by protected species?																											
<b>LANDSCAPE</b>																											
Within High Weald National Landscape	<b>NPPF, Dec 2023:</b> Paras. 182 - 183. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.																										
Within Clapper Hill Wooded Farmlands	<b>NPPF, Dec 2023:</b> Para. 180. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design.																										
Within High Halden Farmlands and, Woodchurch Undulating Farmlands	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.																										
Is the Site within a Designated Important View	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.																										
<b>OPEN SPACE</b>																											
Is the Site Within a Local Green Space or Sports and Recreation Ground	<b>NPPF, Dec 2023:</b> Paras. 103, 107. <b>Ashford Local Plan 2030:</b> Policy COM2 Recreation, Sport, Play and Open Spaces. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP2 Protection of Local Green Spaces. Policy TEN NP14 Protection of Sports and Recreation Grounds.																										
<b>ACCESS TO SERVICES</b>																											
Availability of Direct Pedestrian and Vehicular Access from Public Highway		Vehicular Only	Vehicular Only																								
Availability of Safe Cycling Option to the Site		NO	NO																								
Proximity to Town Centre (metres)	<b>NPPF, Dec 2023:</b> Paras. 114-116. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP17 - Securing Infrastructure.	NO	NO																								
Proximity to Primary School (metres)		NO	NO																								
Proximity to Secondary School (metres)		NO	NO																								
Proximity to Bus Stop (metres)		NO	NO																								
Proximity to GPs (metres)		NO	NO																								
Proximity to Public Open Space (metres)		NO	NO																								
<b>SITE SUMMARY</b>		The site is accessible from A28 Ashford Road, however it is not in close proximity to primary or secondary schools, GPs, Public Open Spaces, bus stops or the Town Centre. It also has no direct pedestrian access or a safe cycling option to the site. The site adjoins ancient woodland. The site is located within High Halden Farmlands a protected landscape character area. We feel the proposed housing site is not suitable for development.	The site is accessible from A28 Ashford Road, however it is not in close proximity to primary or secondary schools, GPs, Public Open Spaces, bus stops or the Town Centre. It also has no direct pedestrian access or a safe cycling option to the site. The site is located within High Halden Farmlands a protected landscape character area. We feel the proposed housing site is not suitable for development.																								
<b>TDRA DECISION</b>		We feel the proposed site is <u>not</u> suitable for development.	We feel the proposed site is <u>not</u> suitable for development.																								



	Yes
	Partially
	No

Appraisal Criteria	Planning Policies	HELAA/LP41/123	HELAA/LP41/263
		North of Little Orchards	Entrance to London Beach
		48 Units	12 Units
		Housing (Older Persons)	Apartments (Older Persons)
		<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 117049                      HELAA Reference: HELAA/LP41/123                      Site Name: Land north of Little Orchards, Ashford Road, St Michaels, Tenterden                      Proposed Sites Area (hectares): 1.7                      Housing (Older Persons) 48 dwellings                 </div>	<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1170205                      HELAA Reference: HELAA/LP41/263                      Site Name: Land of entrance to London Beach Country Hotel Spa &amp; Golf Club Ashford Road St Michaels Tenterden TN30 6HX                      Proposed Sites Area (hectares): 0.52                      Housing (Older persons) 12 apartments                 </div>
			
Status		Formal SS	Formal SS
<b>FLOODING</b>			
Flood Zone 2, 3a, 3b	<b>NPPF, Dec 2023:</b> Paras. 165 - 175 and Annex 3 <b>Ashford Local Plan 2030:</b> Policy ENV6 Flood Risk		
Are there known local concerns regarding surface water drainage?			
<b>HERITAGE</b>			
Within Conservation Area	<b>NPPF, Dec 2023:</b> Paras. 200 - 208. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV13 - Conservation and Enhancement of Heritage Assets. Policy ENV14 - Conservation Areas. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP4 - Design of New Development and Conservation. Policy TEN NP5 Tenterden, St Michaels, Smallythe and Reading Street Conservation Areas and their setting.		
Part of Setting of Conservation Area			
Part of Setting of Listed Building			
Part of Setting of a Non-Designated Heritage Asset	<b>NPPF, Dec 2023:</b> Para. 209. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP7 Non-designated Heritage Assets		
<b>BIODIVERSITY</b>			
Within or Adjoining SSSI	<b>NPPF, Dec 2023:</b> Para. 186. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV1 - Biodiversity. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP3 Conserve and Enhance Biodiversity.		
Within or Adjoining Local Wildlife Site			
Within or Adjoining Ancient Woodland			
Is the site known locally to be occupied by protected species?			
<b>LANDSCAPE</b>			
Within High Weald National Landscape	<b>NPPF, Dec 2023:</b> Paras. 182 - 183. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within Clapper Hill Wooded Farmlands	<b>NPPF, Dec 2023:</b> Para. 180. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within High Halden Farmlands and, Woodchurch Undulating Farmlands			
Is the Site within a Designated Important View	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
<b>OPEN SPACE</b>			
Is the Site Within a Local Green Space or Sports and Recreation Ground	<b>NPPF, Dec 2023:</b> Paras. 103, 107. <b>Ashford Local Plan 2030:</b> Policy COM2 Recreation, Sport, Play and Open Spaces. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP2 Protection of Local Green Spaces. Policy TEN NP14 Protection of Sports and Recreation Grounds.		
<b>ACCESS TO SERVICES</b>			
Availability of Direct Pedestrian and Vehicular Access from Public Highway		Vehicular Only	YES
Availability of Safe Cycling Option to the Site		NO	NO
Proximity to Town Centre (metres)	<b>NPPF, Dec 2023:</b> Paras. 114-116. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP17 - Securing Infrastructure.	NO	YES
Proximity to Primary School (metres)		NO	YES
Proximity to Secondary School (metres)		NO	NO
Proximity to Bus Stop (metres)		NO	YES
Proximity to GPs (metres)		NO	NO
Proximity to Public Open Space (metres)		NO	YES
<b>SITE SUMMARY</b>		The site is accessible from A28 Ashford Road, however it is not in close proximity to primary or secondary schools, GPs, Public Open Spaces, bus stops or the Town Centre. It also has no direct pedestrian access or a safe cycling option to the site. The site is located within High Halden Farmlands a protected landscape character area. We feel the proposed housing site is not suitable for development.	The site is accessible from A28 Ashford Road, and has reasonable access to a primary school, St Michaels centre, bus stops and public Open Space. It also has direct pedestrian access. The site is located within High Halden Farmlands a protected landscape character area.
<b>TDRA DECISION</b>		We feel the proposed site is <u>not</u> suitable for development.	We feel the proposed site is suitable for limited and sensitive development.

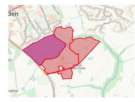
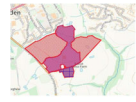
	Yes
	Partially
	No

Appraisal Criteria	Planning Policies	HELAA/LP41/166	HELAA/LP41/201
		Potts Farm, Chennel Park Rd	Henley Fields
		10 Units	400 Units
		Housing C3/ Employment, Leisure & Tourism, BNG	Housing/ C3
		<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1178950                      HELAA Reference: HELAA/LP41/166                      Site Name: Potts Farm Chennel Park Road TN30 6XA                      Proposed Use: Housing (C3) 10 dwellings, Employment, Leisure &amp; Tourism, Biodiversity Net Gain                      Area (hectares): Not given                 </div>	<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1178835                      HELAA Reference: HELAA/LP41/201                      Site Name: Henley Fields St Michaels Ashford Kent TN30 6EQ                      Proposed Use: Housing (C3) 400 dwellings                      Area (hectares): 16.94                 </div>
			
Status		Formal SS	Formal SS
<b>FLOODING</b>			
Flood Zone 2, 3a, 3b	<b>NPPF, Dec 2023:</b> Paras. 165 - 175 and Annex 3		
Are there known local concerns regarding surface water drainage?	<b>Ashford Local Plan 2030:</b> Policy ENV6 Flood Risk		
<b>HERITAGE</b>			
Within Conservation Area	<b>NPPF, Dec 2023:</b> Paras. 200 - 208. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV13 - Conservation and Enhancement of Heritage Assets. Policy ENV14 - Conservation Areas.		
Part of Setting of Conservation Area	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP4 - Design of New Development and Conservation. Policy TEN NP5 Tenterden, St Michaels, Smallythe and Reading Street Conservation Areas and their setting.		
Part of Setting of Listed Building			
Part of Setting of a Non-Designated Heritage Asset	<b>NPPF, Dec 2023:</b> Para. 209. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP7 Non-designated Heritage Assets		
<b>BIODIVERSITY</b>			
Within or Adjoining SSSI	<b>NPPF, Dec 2023:</b> Para. 186. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV1 - Biodiversity.		
Within or Adjoining Local Wildlife Site	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP3 Conserve and Enhance Biodiversity.		
Within or Adjoining Ancient Woodland			
Is the site known locally to be occupied by protected species?			
<b>LANDSCAPE</b>			
Within High Weald National Landscape	<b>NPPF, Dec 2023:</b> Paras. 182 - 183. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within Clapper Hill Wooded Farmlands	<b>NPPF, Dec 2023:</b> Para. 180. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design.		
Within High Halden Farmlands and, Woodchurch Undulating Farmlands	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Is the Site within a Designated Important View	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
<b>OPEN SPACE</b>			
Is the Site Within a Local Green Space or Sports and Recreation Ground	<b>NPPF, Dec 2023:</b> Paras. 103, 107. <b>Ashford Local Plan 2030:</b> Policy COM2 Recreation, Sport, Play and Open Spaces. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP2 Protection of Local Green Spaces. Policy TEN NP14 Protection of Sports and Recreation Grounds.		
<b>ACCESS TO SERVICES</b>			
Availability of Direct Pedestrian and Vehicular Access from Public Highway		Vehicular Only	NO
Availability of Safe Cycling Option to the Site		NO	NO
Proximity to Town Centre (metres)	<b>NPPF, Dec 2023:</b> Paras. 114-116. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP17 - Securing Infrastructure.	NO	YES
Proximity to Primary School (metres)		NO	YES
Proximity to Secondary School (metres)		NO	YES
Proximity to Bus Stop (metres)		NO	YES
Proximity to GPs (metres)		NO	NO
Proximity to Public Open Space (metres)		NO	YES
<b>SITE SUMMARY</b>		The site is only accessible from Chennel Park Road, and it is not in close proximity to primary or secondary schools, GPs, Public Open Spaces, bus stops or the Town Centre. It also has no direct pedestrian access. The site is part of the setting of a Listed Building and is located within the High Weald National Landscape. It would represent a significant development, likely to have a significant adverse impact on the National Landscape where great weight should be given to conserving landscape and scenic beauty. We feel the proposed site is not suitable for development.	The site has no direct pedestrian or vehicular access from a public highway. This large prominent site is located within the High Weald National Landscape and development would represent major development and would be likely to have a significant adverse impact on the National Landscape where great weight should be given to conserving landscape and scenic beauty. The site lies within and adjoins ancient woodland. We feel the proposed site is not suitable for development.
<b>TDRA DECISION</b>		We feel the proposed site is <u>not</u> suitable for development.	We feel the proposed site is <u>not</u> suitable for development.

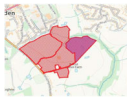

	Yes
	Partially
	No

Appraisal Criteria	Planning Policies	HELAA/LP41/226	HELAA/LP41/070
		North of Rolvenden Rd	Northwest of Rolvenden Rd
		170-200 Units	50 Units
		Housing/ C2	Housing/ C3
		<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1179098                      HELAA Reference: HELAA/LP41/226                      Site Name: Land north of Rolvenden Road, Tenterden                      Proposed Use: Housing (C2) 170-200 dwellings                      Area (Hectares): 24.09                 </div>	<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1178296                      HELAA Reference: HELAA/LP41/070                      Site Name: Land to the North West of Rolvenden Road, Tenterden                      Proposed Use: Housing (C3) 50 dwellings                      Area (Hectares): 9.373                 </div>
			
Status		Formal SS	Formal SS
<b>FLOODING</b>			
Flood Zone 2, 3a, 3b	<b>NPPF, Dec 2023:</b> Paras. 165 - 175 and Annex 3 <b>Ashford Local Plan 2030:</b> Policy ENV6 Flood Risk		
Are there known local concerns regarding surface water drainage?			
<b>HERITAGE</b>			
Within Conservation Area	<b>NPPF, Dec 2023:</b> Paras. 200 - 208. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV13 - Conservation and Enhancement of Heritage Assets. Policy ENV14 - Conservation Areas. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP4 - Design of New Development and Conservation. Policy TEN NP5 Tenterden, St Michaels, Smallythe and Reading Street Conservation Areas and their setting.		
Part of Setting of Conservation Area			
Part of Setting of Listed Building			
Part of Setting of a Non-Designated Heritage Asset	<b>NPPF, Dec 2023:</b> Para. 209. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP7 Non-designated Heritage Assets		
<b>BIODIVERSITY</b>			
Within or Adjoining SSSI	<b>NPPF, Dec 2023:</b> Para. 186. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV1 - Biodiversity. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP3 Conserve and Enhance Biodiversity.		
Within or Adjoining Local Wildlife Site			
Within or Adjoining Ancient Woodland			
Is the site known locally to be occupied by protected species?			
<b>LANDSCAPE</b>			
Within High Weald National Landscape	<b>NPPF, Dec 2023:</b> Paras. 182 - 183. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within Clapper Hill Wooded Farmlands	<b>NPPF, Dec 2023:</b> Para. 180. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within High Halden Farmlands and, Woodchurch Undulating Farmlands			
Is the Site within a Designated Important View	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
<b>OPEN SPACE</b>			
Is the Site Within a Local Green Space or Sports and Recreation Ground	<b>NPPF, Dec 2023:</b> Paras. 103, 107. <b>Ashford Local Plan 2030:</b> Policy COM2 Recreation, Sport, Play and Open Spaces. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP2 Protection of Local Green Spaces. Policy TEN NP14 Protection of Sports and Recreation Grounds.		
<b>ACCESS TO SERVICES</b>			
Availability of Direct Pedestrian and Vehicular Access from Public Highway		YES	NO
Availability of Safe Cycling Option to the Site		NO	NO
Proximity to Town Centre (metres)	<b>NPPF, Dec 2023:</b> Paras. 114-116. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP17 - Securing Infrastructure.	YES	YES
Proximity to Primary School (metres)		YES	YES
Proximity to Secondary School (metres)		NO	NO
Proximity to Bus Stop (metres)		YES	YES
Proximity to GPs (metres)		YES	YES
Proximity to Public Open Space (metres)		YES	YES
<b>SITE SUMMARY</b>		The site is accessible from A28 Rolvenden Road, and has reasonable access to the Town Centre, bus stops, GPs, schools and public open space. It also has direct pedestrian access. The site is located within the Clapper Hill Wooded Farmlands area, a protected landscape character area. The site is also part of the setting of a Non-Designated Heritage Asset and adjoins the High Weald National Landscape as well as ancient woodland. A small area of the site sits within a flood zone.	The site has no direct pedestrian or vehicular access from a public highway. This site is adjoins the High Weald National Landscape and is within a Local Green Space. It is also located within a designated Important View and the Clapper Hill Wooded Farmlands landscape character area, a protected landscape character area. The site is known locally to be occupied by protected species. The proposed development would not preserve and enhance the setting of the Tenterden Conservation Area. There are known local concerns regarding surface water drainage at the bottom of the sloped site. We feel the proposed site is not suitable for development.
<b>TDR A DECISION</b>		We feel the proposed site is suitable for high quality, sensitive development.	We feel the proposed site is <u>not</u> suitable for development.

	Yes
	Partially
	No

Appraisal Criteria	Planning Policies	HELAA/LP41/206	HELAA/LP41/274
		Tent 1B	Hopes Grove Nurseries
		225 Units	200-300 Units
		Housing/ C3, Community Facilities, BNG	Housing/ C3
		<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1178851                      HELAA Reference: HELAA/LP41/206                      Site Name: Land known as Tent 1B Land to the eastern side of Small Hythe Road Tenterden TN30 7LN                      Proposed Use: Housing (C3) 225 dwellings, Community Facilities / Biodiversity Net Gain                      Area (Hectares): 10.41                 </div>	<div style="border: 1px solid black; padding: 2px;">                     2023 Call for Sites submissions                      Response ID: 1179311                      HELAA Reference: HELAA/LP41/274                      Site Name: Land at Hope Grove Nurseries, Tenterden                      Proposed Use: Housing (C3) 200-300 dwellings                      Area (Hectares): Not given                 </div>
			
Status		Formal SS	Formal SS
<b>FLOODING</b>			
Flood Zone 2, 3a, 3b	<b>NPPF, Dec 2023:</b> Paras. 165 - 175 and Annex 3 <b>Ashford Local Plan 2030:</b> Policy ENV6 Flood Risk		
Are there known local concerns regarding surface water drainage?			
<b>HERITAGE</b>			
Within Conservation Area	<b>NPPF, Dec 2023:</b> Paras. 200 - 208. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV13 - Conservation and Enhancement of Heritage Assets. Policy ENV14 - Conservation Areas. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP4 - Design of New Development and Conservation. Policy TEN NP5 Tenterden, St Michaels, Smallythe and Reading Street Conservation Areas and their setting.		
Part of Setting of Conservation Area			
Part of Setting of Listed Building			
Part of Setting of a Non-Designated Heritage Asset	<b>NPPF, Dec 2023:</b> Para. 209. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP7 Non-designated Heritage Assets		
<b>BIODIVERSITY</b>			
Within or Adjoining SSSI	<b>NPPF, Dec 2023:</b> Para. 186. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV1 - Biodiversity. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP3 Conserve and Enhance Biodiversity.		
Within or Adjoining Local Wildlife Site			
Within or Adjoining Ancient Woodland			
Is the site known locally to be occupied by protected species?			
<b>LANDSCAPE</b>			
Within High Weald National Landscape	<b>NPPF, Dec 2023:</b> Paras. 182 - 183. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within Clapper Hill Wooded Farmlands	<b>NPPF, Dec 2023:</b> Para. 180. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. Policy ENV3a - Landscape Character and Design. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
Within High Halden Farmlands and, Woodchurch Undulating Farmlands			
Is the Site within a Designated Important View	<b>Tenterden Neighbourhood Plan:</b> Policy TEN NP1 Protection of Landscape Character.		
<b>OPEN SPACE</b>			
Is the Site Within a Local Green Space or Sports and Recreation Ground	<b>NPPF, Dec 2023:</b> Paras. 103, 107. <b>Ashford Local Plan 2030:</b> Policy COM2 Recreation, Sport, Play and Open Spaces. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP2 Protection of Local Green Spaces. Policy TEN NP14 Protection of Sports and Recreation Grounds.		
<b>ACCESS TO SERVICES</b>			
Availability of Direct Pedestrian and Vehicular Access from Public Highway		YES	YES
Availability of Safe Cycling Option to the Site		YES	YES
Proximity to Town Centre (metres)	<b>NPPF, Dec 2023:</b> Paras. 114-116. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP17 - Securing Infrastructure.	YES	YES
Proximity to Primary School (metres)		YES	YES
Proximity to Secondary School (metres)		NO	NO
Proximity to Bus Stop (metres)		YES	YES
Proximity to GPs (metres)		YES	NO
Proximity to Public Open Space (metres)		YES	YES
<b>SITE SUMMARY</b>		The site is accessible from B2082 Smallythe Road, and has reasonable access to the Town Centre, bus stops, GPs, schools and public open space. It also has direct pedestrian access and a safe cycling option to the site. The site adjoins ancient woodland. There are known local concerns regarding surface water drainage near to the adjacent waterway.	The site is accessible from B2082 Smallythe Road, and has reasonable access to the Town Centre, bus stops, GPs, schools and public open space. It also has direct pedestrian access and a safe cycling option to the site. The site is within and adjoins ancient woodland. There are known local concerns regarding surface water drainage near to the adjacent waterway. We feel the proposed housing site is suitable for high quality, sensitive development.
<b>TDRA DECISION</b>		We feel the proposed site is suitable for high quality, sensitive development.	We feel the proposed site is suitable for high quality, sensitive development.

	Yes
	Partially
	No

Appraisal Criteria	Planning Policies	HELAA/LP41/031	HELAA/LP41/147																								
		East of Smallythe Rd	Pickhill House																								
		90-120 Units	2 Units																								
		Housing/ C3, BNG	Housing/ C3																								
		<table border="1"> <thead> <tr> <th colspan="2">2023 Call for Sites submissions</th> </tr> </thead> <tbody> <tr> <td>Response ID:</td> <td>1177353</td> </tr> <tr> <td>HELAA Reference:</td> <td>HELAA/LP41/031</td> </tr> <tr> <td>Site Name:</td> <td>Land lying to the East of Smallythe Road, Tenterden</td> </tr> <tr> <td>Proposed Use:</td> <td>Housing (C3) 90-120 dwellings, Biodiversity Net Gain</td> </tr> <tr> <td>Area (hectares):</td> <td>6.23</td> </tr> </tbody> </table>	2023 Call for Sites submissions		Response ID:	1177353	HELAA Reference:	HELAA/LP41/031	Site Name:	Land lying to the East of Smallythe Road, Tenterden	Proposed Use:	Housing (C3) 90-120 dwellings, Biodiversity Net Gain	Area (hectares):	6.23	<table border="1"> <thead> <tr> <th colspan="2">2023 Call for Sites submissions</th> </tr> </thead> <tbody> <tr> <td>Response ID:</td> <td>1178077</td> </tr> <tr> <td>HELAA Reference:</td> <td>HELAA/LP41/147</td> </tr> <tr> <td>Site Name:</td> <td>Pickhill House, Smallythe Road, Tenterden, Kent, TN30 7LZ</td> </tr> <tr> <td>Proposed Use:</td> <td>Housing (C3) 2 dwellings</td> </tr> <tr> <td>Area (hectares):</td> <td>0.68</td> </tr> </tbody> </table>	2023 Call for Sites submissions		Response ID:	1178077	HELAA Reference:	HELAA/LP41/147	Site Name:	Pickhill House, Smallythe Road, Tenterden, Kent, TN30 7LZ	Proposed Use:	Housing (C3) 2 dwellings	Area (hectares):	0.68
2023 Call for Sites submissions																											
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<b>ACCESS TO SERVICES</b>																											
Availability of Direct Pedestrian and Vehicular Access from Public Highway		NO	Vehicular Only																								
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Proximity to Town Centre (metres)	<b>NPPF, Dec 2023:</b> Paras. 114-116. <b>Ashford Local Plan 2030:</b> Policy SP1 - Strategic Objectives. <b>Tenterden Neighbourhood Plan:</b> Policy TEN NP17 - Securing Infrastructure.	YES	NO																								
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Proximity to Public Open Space (metres)		YES	NO																								
<b>SITE SUMMARY</b>		The site has no direct pedestrian or vehicular access from a public highway and no safe cycling option to the site. The site adjoins ancient woodland. The site is within a designated Important View. There are known local concerns regarding surface water drainage near to the adjacent waterway. We feel the proposed site is not suitable for development.	The site is accessible from B2082 Smallythe Road, however it is not in close proximity to schools, GPs, Public Open Spaces, bus stops, the town centre. It also has no direct pedestrian access or a safe cycling option to the site. This site is located within the High Weald National Landscape and would be likely to have a significant adverse impact on the National Landscape where great weight should be given to conserving landscape and scenic beauty.																								
<b>TDRA DECISION</b>		We feel the proposed site is <u>not</u> suitable for development.	We feel the proposed site is <u>not</u> suitable for development.																								

	Yes
	Partially
	No